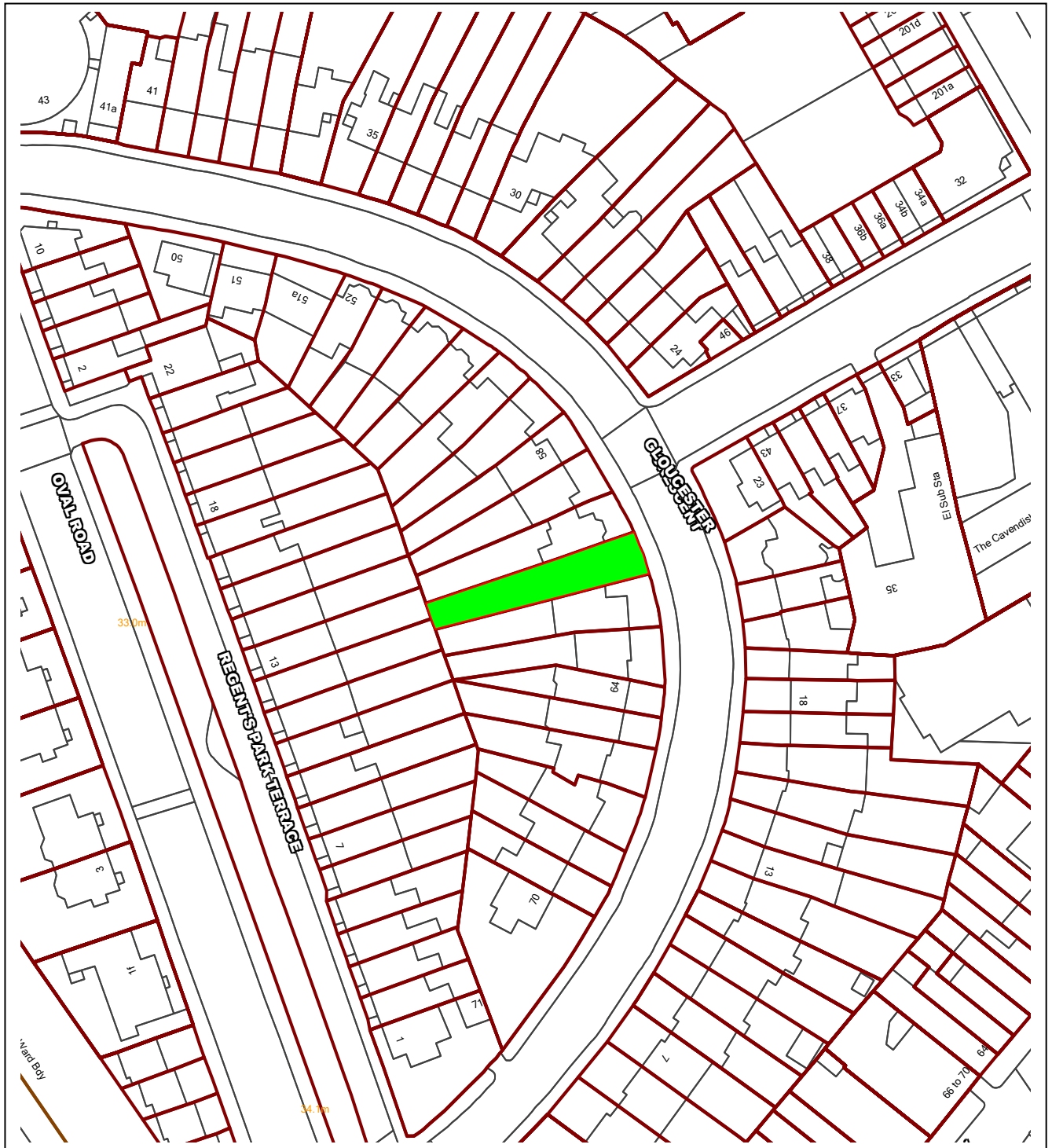


## 2025/1615/P & 2025/1664/L - 61 Gloucester Crescent



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Photo 1 – showing front boundary of application site



<b>Delegated Report (Members Briefing)</b>		<b>Analysis sheet</b>		<b>Expiry Date:</b>	<b>09/06/2025</b>
		n/a		<b>Consultation Expiry Date:</b>	<b>18/05/2025</b>
<b>Officer</b>			<b>Application Number</b>		
Tony Young			1. 2025/1615/P 2. 2025/1664/L		
<b>Application Address</b>			<b>Drawing Numbers</b>		
61 Gloucester Crescent London NW1 7EG			Refer to draft decision notice		
<b>PO 3/4</b>	<b>Area Team Signature</b>	<b>C&amp;UD</b>	<b>Authorised Officer Signature</b>		
<b>Proposal</b>					
1. <u>Householder application</u> & 2. <u>Listed building consent application</u> External alterations to existing front boundary brick wall and pier to provide enlarged vehicular access space, installation of black cast iron automated sliding vehicular gate and pedestrian gate, replacement composite wood bin store in front garden, and replacement of concrete paving to existing driveway with sandstone paving.					
<b>Recommendation</b>	1. Grant Planning Permission 2. Grant Listed Building Consent				
<b>Application Type</b>	1. Householder 2. Listed Building Consent				

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice					
Informatives:						
Consultations						
Adjoining occupiers & local amenity groups:	No. notified	0	No. of responses	1	No. of objections	1
					No. of supports	0
					No. of comments	0
	A <u>site notice</u> was displayed from 23/04/2025 to 17/05/2025 A <u>press notice</u> was published from 24/04/2025 to 18/05/2025					



**Local amenity group  
response**

**Primrose Hill Conservation Area Advisory Committee (PHCAAC)**

responded and objected to the original proposals as follows:

- *'Loss of boundary walls and loss or diminution of front gardens for carparking were a key motivation for the securing of the Primrose Hill CA Article 4 Direction of 1983. The Article 4 Direction also demonstrates that the loss of these walls in other properties in the conservation area does not constitute a valid precedent for further loss: indeed, it witnesses to the need for full protection of the surviving front boundary walls. The walls and garden space are also significant elements in the setting of the Listed Building and of the Listed Crescent as a group.'*
- *The importance of front gardens in this section of the conservation area is recognized in the Primrose Hill Conservation Area Statement (current SPD) at p. 22, which states: 'These front gardens are bounded by brick walls of approximately 1.2 metres high with brick piers, timber gates and decorative features including perforated brickwork and rendered panels. A number of walls and front garden areas have been altered or lost to forecourt parking. These alterations have had a significant negative impact on the green character of this part of the Conservation Area and the setting of the buildings.'*
- *We note that the recent appeal at 182 Regent's Park Road, London, NW1 8XP (APP/X5210/W/24/3346574) dismissed 3 January 2025, gave support to the importance of front boundary walls and green front gardens in the townscape of the conservation area. We strongly oppose further deterioration of the front gardens and boundary walls, with, we emphasise, recognition that gates in the front boundary walls should be timber.*
- *We also note that current policies for sustainable urban drainage should be followed with hard paving limited to the minimum.*
- *We object to the bin store in composite wood: a suitable bin store in this location should also allow for a 'green' roof.*

Officer response

It is noted that since the receipt of the PHCAAC response, the applicant has revised the original proposals; (1) reducing the heights of proposed gates; (2) removing decorative spikes; (3) providing additional survey evidence of street railings and gates; and (4) including sustainable drainage solutions (SuDS) for replacement hardstanding (see Section 1, 'Proposal' below for further details).

- *In terms of potential loss of boundary walls, the alterations to the boundary would only involve a minor loss of brickwork to a small part of a non-historic wall and piers recently rebuilt and which do not form part of the Grade II listing for the host building (see paragraphs 3.1-3.15 below for details - Section 3, 'Design and appearance').*
- *The proposals would not negatively impact on the green character of the area, given that the front garden is already formed of hardstanding and on-site parking space with crossover in situ at the site. There would be some gain through a small amount of proposed soft landscaping (see paragraphs 3.1-3.15 below for details - Section 3, 'Design and appearance').*

- *The appeal is significantly different in terms of its impact to the streetscene and conservation area (see paragraphs 3.22-3.26 below for details - Section 3, 'Design and appearance').*
- *The revised proposal for sandstone paving includes measures that provide a sustainable drainage solution (SUDS) helping to mitigate the risk of any potential flooding and ensuring that an acceptable level of rainwater attenuation and drainage management would be present at the property (see paragraphs 3.19-3.21 below for details - Section 3, 'Design and appearance').*
- *The proposed bin store would replace an existing store and would not be widely visible. The materials are considered appropriate in this context and would not appear noticeably different to the existing store. While a green roof would be preferable, the applicant decided not to include this on such a small structure (see paragraphs 3.16-3.18 below for details - Section 3, 'Design and appearance').*

## Site Description

The application site is a 3-storey plus basement terraced property located on the western side of Gloucester Crescent, close to its junction with Inverness Street (see Image 1 below).

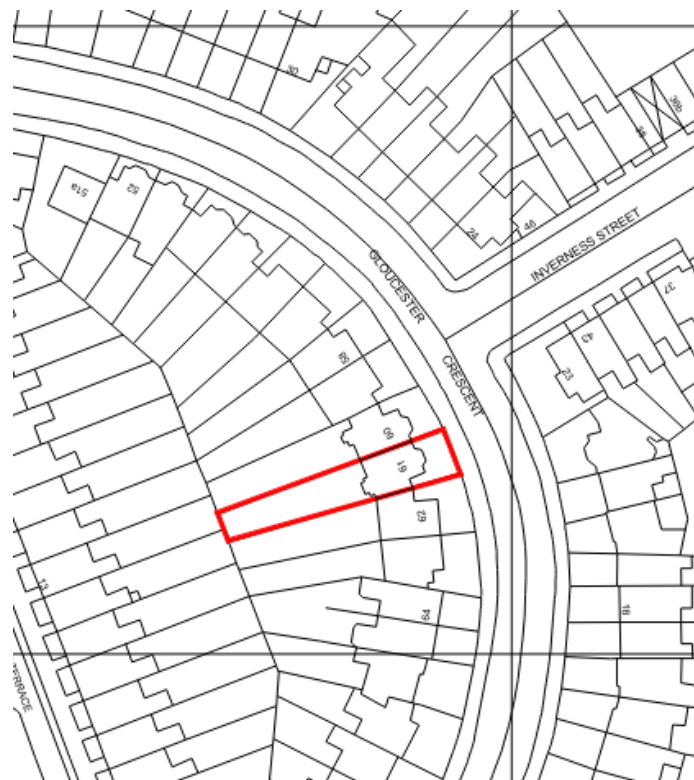


Image 1 – site location plan of application site (outlined in red)

The building is Grade II Listed and forms part of a wider listed terrace of properties (nos. 52-70 consecutive). The site is located within the Primrose Hill Conservation Area.

## Relevant History

### Application Site:

**2009/4058/P & 2009/4060/L** - Internal and external alterations in connection with the erection of single storey rear extension with associated roof terrace and railings and alterations to front [including the provision of a bicycle store] and rear gardens of single-family dwelling house (Class C3). Planning permission & listed building consent granted 19/10/2009

### Neighbouring properties:

**2024/2247/P & 2024/2269/L** (15 Gloucester Crescent) - Installation of new gates to front boundary. Planning permission and listed building consent granted 11/02/2025

**2024/0106/P** (182 Regent's Park Road) - Removal of condition 4 (Personal planning permission and remediation works) of planning permission 2023/2555/P (dated 26/10/2023) for: Removal of the existing front boundary wall and replacement with a metal vehicle entry, metal pedestrian gate, new metal railings, and intercom and letterbox integrated within new sections of brick wall at the front boundary; creation of new, permeable paved vehicular access for carparking; new electric vehicle charging point; removal of existing front courtyard staircase and replacement with a new staircase and new courtyard railings; erection of a new bin store; new soft and hard landscaping. Planning permission refused 30/04/2024 / Appeal dismissed 03/01/2025 (APP/X5210/W/24/3346574)

**2023/2555/P** (182 Regent's Park Road) - Removal of the existing front boundary wall and replacement with a metal vehicle entry, metal pedestrian gate, new metal railings, and intercom and letterbox integrated within new sections of brick wall at the front boundary; creation of new, permeable paved vehicular access for carparking; new electric vehicle charging point; removal of existing front courtyard staircase and replacement with a new staircase and new courtyard railings; erection of a new bin store; new soft and hard landscaping. Planning permission granted 26/10/2023

**2022/1867/P & 2022/2737/L** (11 Gloucester Crescent) - Installation of new gate, brick piers, trellis around the bin storage and new planters (retrospective). Planning permission and listed building consent granted 17/10/2022

**2014/6478/P & 2014/6893/L** (5 Gloucester Crescent) - New landscaping to front garden including alterations to front boundary wall and erection of new sliding gate and pedestrian gate. Planning permission and listed building consent granted 10/03/2015

**2012/2292/P & 2012/2294/L** (68 Gloucester Crescent) - Replacement of existing wrought iron front gates with cast iron gates to dwelling house (Class C3). Planning permission and listed building consent granted 02/07/2012

**PEX0100950 & LEX0100951** (1 Regent's Park Terrace) - Remove existing timber gates and replace with new wrought iron automated access gates. Planning permission and listed building consent granted 04/02/2002

**8421** (70 Gloucester Crescent) - Use of part of the front garden for parking for one car and formation of a new means of access to the highway. Planning permission granted 10/06/1970

**J11/11/12/3163** (7 Gloucester Crescent) - Provision of means of access to the highway. Planning permission granted 12/04/1967

**Relevant enforcement history:**

None

**Relevant policies**

**National Planning Policy Framework 2024**

**London Plan 2021**

**Camden Local Plan 2017**

- A1 Managing the impact of development
- A3 Biodiversity
- D1 Design
- D2 Heritage
- T1 Prioritising walking, cycling and public transport
- T2 Parking and car-free development

**Draft Camden Local Plan**

The Council has published a new Draft Camden Local Plan (incorporating Site Allocations) for consultation (DCLP). The DCLP is a material consideration and can be taken into account in the determination of planning applications which has limited weight at this stage. The weight that can be given to it will increase as it progresses towards adoption (anticipated 2026).

**Camden Planning Guidance**

- CPG Design (January 2021) - chapters 1 (Introduction), 2 (Design excellence) and 3 (Heritage)
- CPG Home Improvements (January 2021) - chapter's 'Key principles' (pages 16-32), 'Materials' (pages 36-37) and 'Gardens' (pages 68-75)
- CPG Amenity (January 2021) – chapters 1 (Introduction) and 2 (Overlooking, privacy and outlook)
- CPG Transport (2021) - chapters 5 (Parking and car-free development), 7 (Vehicular access and crossovers) and 9 (Pedestrian and cycle movement)
- CPG Biodiversity (2018) – chapters 1-4 (including all tables and appendices)

**Primrose Hill Conservation Area Appraisal and Management Strategy** (adopted December 2000)

## Assessment

### 1. Proposal

- 1.1 Planning permission and listed building consent are sought for external alterations to an existing front boundary brick wall and pier to provide an enlarged vehicular access space given the very narrow entry point that exists at present.
- 1.2 The works involve the installation of a black cast iron automated sliding vehicular gate and a pedestrian gate, a replacement composite wood bin store in the front garden, and the replacement of concrete paving to an existing driveway with sandstone paving.

#### Revisions and additional information

- 1.3 During the course of the application, the applicant revised the proposal and provided additional drawings/information to show:
  - Reduction in heights of proposed gates to match the height of the existing central front boundary wall (lowered from approximately 1.6 metres in height as originally proposed to approximately 1.3 metres in height as revised) and removal of decorative spikes.
  - Additional survey evidence of comparable existing railings and gates on properties along Gloucester Crescent.
  - Inclusion of sustainable drainage solutions (SuDS) relating to the proposed replacement hardstanding.
- 1.4 The following assessment has therefore been made based on the final submission of drawings/information relating to the revised proposal, giving consideration to its own individual merits, and taking into account the particular site context, including all relevant planning history, policies and guidance, as well as a response received from the PHCAAC during the statutory consultation period.

### 2. Assessment

- 2.1 The principal considerations in the determination of the applications are:
  - the design and impact of the proposal on the special architectural and historic interest of the listed host building, its' setting and significance, and on the character and appearance of the wider streetscene and Primrose Hill Conservation Area,
  - the impact of the proposal on neighbouring amenity,
  - the impact of the proposal on transport and public highway, and
  - the impact of the proposal on biodiversity.

### 3. Design and appearance

- 3.1 Local Plan Policy D1 (Design) establishes that careful consideration of the characteristics of a site, features of local distinctiveness and the wider context is needed in order to achieve high quality development in Camden which integrates into the surrounding streets and townscape.

- 3.2 Local Plan Policy D2 (Heritage) states that the Council will only permit development within conservation areas that preserve or enhance the character and appearance of the area and resist proposals for alterations to a listed building where this would cause harm to the special architectural and historic interest of the building. Policies D1 and D2 are supported by Camden Planning Guidance (CPG) Design through the recognition that all development must be carefully considered in order to prevent harm to the particular character of a conservation area or a listed building and its' setting.
- 3.3 The Primrose Hill Conservation Area Appraisal and Management Strategy (adopted December 2000) supports the above policies and guidance through its designation as a conservation area and its policies designed to preserve or enhance the special interest of such an area.
- 3.4 More specifically in regard to front gardens in Gloucester Crescent, page 22 of the PHCAAC statement notes that they *'are bounded by brick walls of approximately 1.2 metres high with brick piers, timber gates and decorative features including perforated brickwork and rendered panels. A number of walls and front garden areas have been altered or lost to forecourt parking. These alterations have had a significant negative impact on the green character of this part of the Conservation Area and the setting of the buildings'*.
- 3.5 Section 16 (Conserving and enhancing the historic environment) of the National Planning Policy Framework (NPPF) advises that the impact of a proposal should be taken into account to avoid or minimise any conflict between the heritage asset's conservation and any aspect of the proposal.

#### Alterations to front boundary

- 3.6 In regard to boundary treatments, Camden Planning Guidance (CPG Home improvements) states in Section 5.3 that alterations should respect the existing character of the street and be subordinate to the host building in terms of their dimensions, proportions, detailing and design. Materials used should also relate and complement the host building, and any works should not damage any trees within the curtilage of the property or those in close proximity.
- 3.7 It is firstly noted that the brick boundary wall and piers do not form part of the Grade II listing for the host building. The existing brick wall and piers appear to be a relatively new addition and replaced a previous brick wall sometime after 2009 (see Image 2 below).



Image 2 – front boundary brick wall at application site (circa. 2009)



3.8 At present, the front garden at the host property is separated from the public footpath by a boundary wall constructed of yellow stock London brick, comprising of four brick piers topped with coping stones, a low central wall and a timber pedestrian gate (as shown in Image 3 below).



Image 3 – street view of application site

3.9 An existing vehicle crossover connects the driveway and off-street parking space at the application site to the road. Any car entering or exiting the driveway therefore must pass between two brick piers on the left-hand side of the front boundary; the width between both piers being just 2.29 metres.

3.10 As such, manoeuvring a vehicle into or out of the driveway, across the pedestrian pavement, to and from the vehicle crossover, is difficult and significantly restricted given the narrowness of the opening. This presents safety concerns for both driver and pedestrians on a daily basis, has resulted in frequent damage to the exterior of the applicant's car when attempting to pass between both piers, causes daily hindrance and inconvenience to the applicant, and significantly limits the safe functional use of the driveway (see Image 4 below).

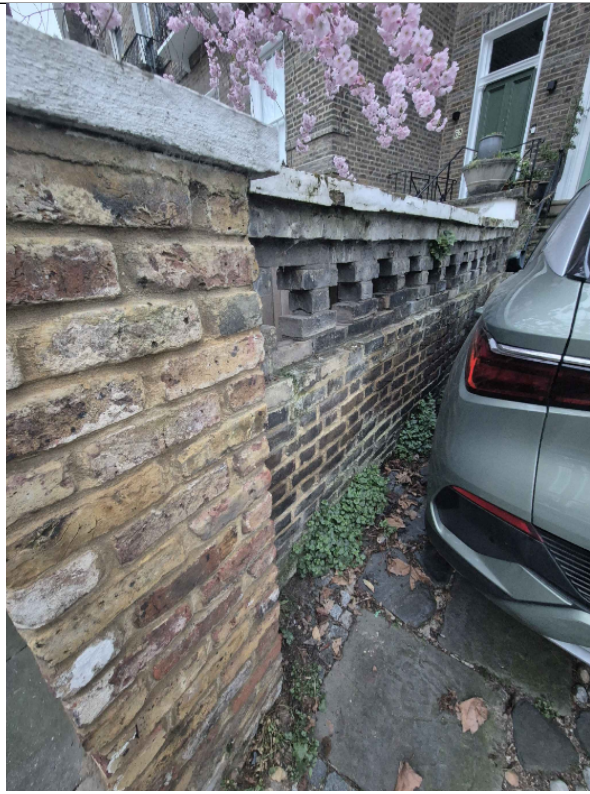


Image 4 – showing relative proximity of existing brick pier and car at application site

- 3.11 To improve this situation, the applicant proposes that the space between the two brick piers is widened by 48 centimetres (to 2.77 metres). In order to achieve this, an existing brick pier and very small part of the brick wall would be carefully dismantled and rebuilt slightly further to the right-hand side, using salvaged London stock bricks and coping stones to closely match existing materials and appearance. As stated above, the existing wall and piers appear to be relatively new additions, built sometime after 2009, which included the addition of the brick pier now proposed to be dismantled and rebuilt.
- 3.12 Additionally, an automated sliding vehicular gate and a pedestrian gate would be installed, both made from cast iron and black in colour. Following concern raised by the Council to the excessive height (approximately 1.6 metres high) and inappropriate design of both gates, the applicant has provided revised drawings showing both gates to be reduced in height (to approximately 1.3 metres high) so as to more appropriately match the existing height of the central boundary wall. Decorative spikes as originally proposed, have also been removed and replaced with a simpler, matching design for both gates, and which now appear more subordinate to the character of the host building (see Images 5 and 6 below).

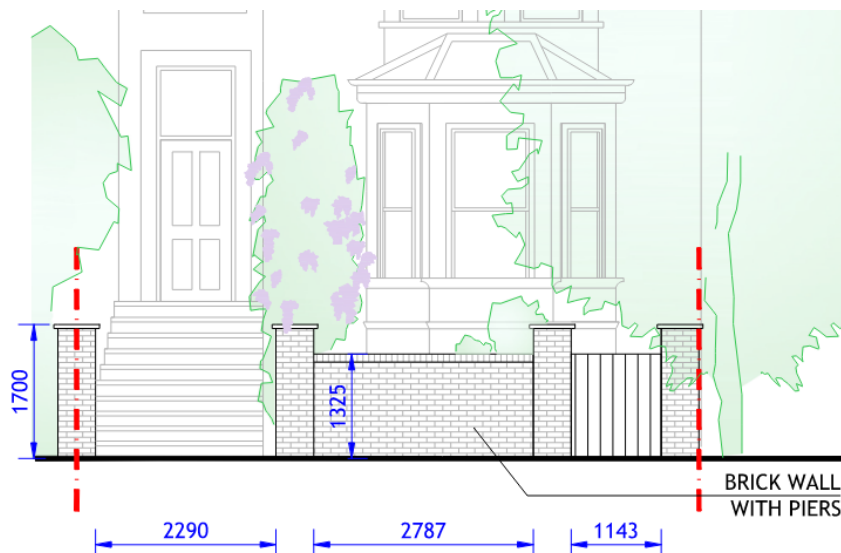




Image 5 – existing front boundary at the application site

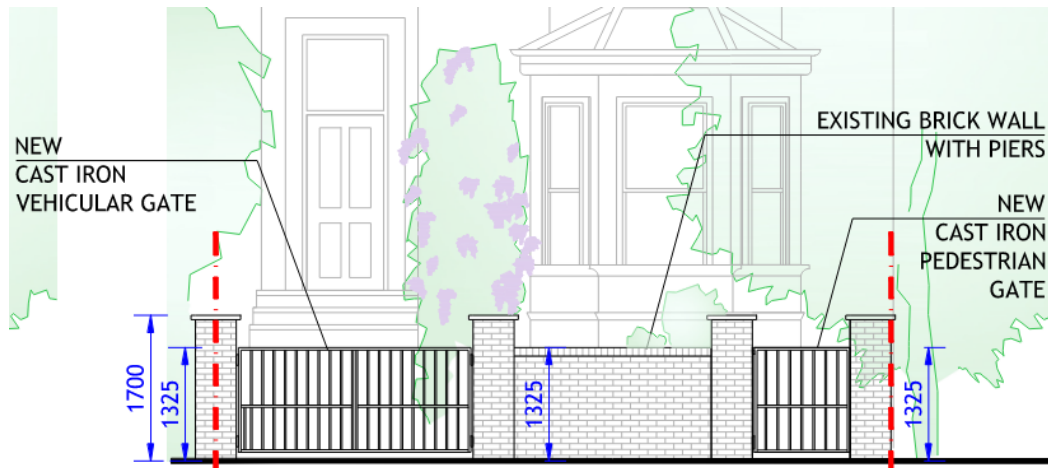


Image 6 – proposed front boundary at the application site

3.13 Additional evidence of railings and gates within the close and wider context of Gloucester Crescent has been provided by the applicant by way of precedent, as well as to highlight the variety of different boundary treatments in the area (see the supporting, 'Design & Access and Heritage statement, revision A'). These show nearby properties at nos. 5, 67, 68, 70 and 71 with similar front boundaries, and a substantial vehicular gate at no. 51 (approximately 1.8 metres high x 3 metres wide).

3.14 The Planning Case Officer has also carried out a site visit and survey along Gloucester Crescent and noted many properties with black metal vehicle and pedestrian gates at the front of properties (some examples are shown in Images 7-12 below).



Image 7 & 8 – existing front boundaries at nos. 5 and 7 respectively



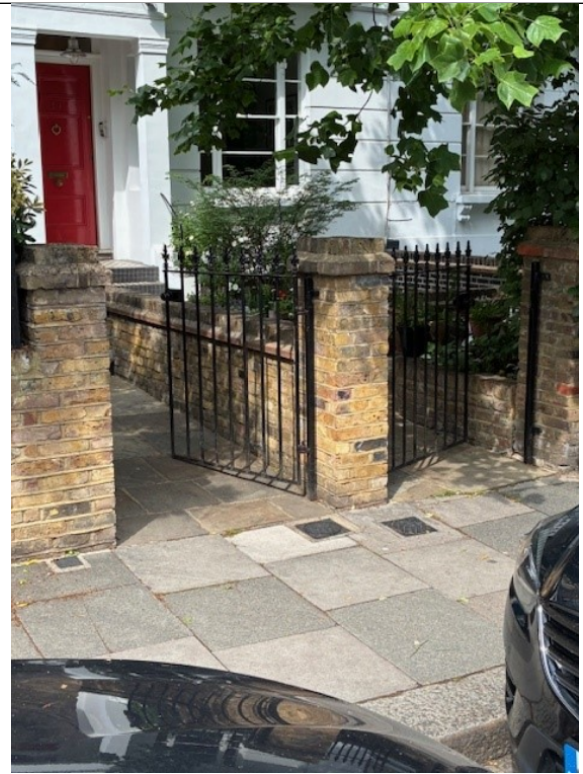


Image 9 & 10 – existing front boundaries at nos. 70 and 39 & 40 respectively

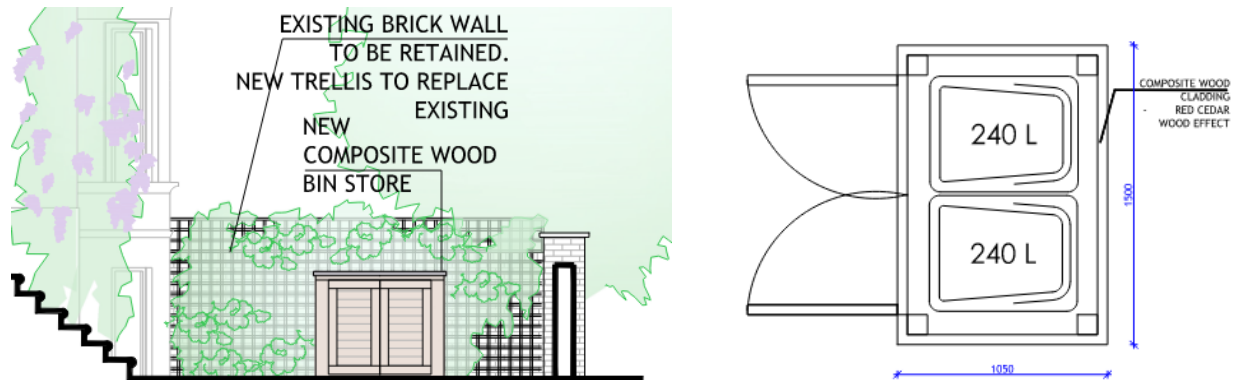


Images 11 & 12 – existing front boundaries at nos. 51-53 and 1 Regent's Park Terrace (gates located in Gloucester Crescent) respectively

3.15 While it is acknowledged that some existing examples appear more sympathetic to the wider streetscene than others, it is considered that the current proposals would be in keeping with the general character and appearance of boundary treatments across many garden frontages in Gloucester Crescent. This is not least due to the simple design and low height of the proposed gates, but also by virtue of the retention of the existing brick wall and piers (with only a minor proposed modification to provide an enlarged vehicle opening), while introducing only a relatively small section of railed gates within areas of existing openings. Importantly, the proposal would continue to allow a good level of visibility and permeability through the existing openings given the low heights and railed design of both gates.

### Replacement composite wood bin store in front garden

- 3.16 An existing bin store at the host property is positioned in the front garden immediately adjacent to a wooden pedestrian gate, so blocking the opening and use of the gate, as well as any practical functioning of the bin store itself.
- 3.17 A composite wood bin store (measuring approximately 1.25 metres high x 1.5 metres wide x 1 metre deep) is therefore proposed to replace the existing bin store and would be set-back in a more accessible position within the right-hand side of the front garden (see Images 13 and 14 below).



Images 13 & 14 – proposed bin store in front garden of application site and floor plan respectively

- 3.18 The replacement structure would be mainly screened from public view by virtue of its lower height relative to the existing boundary heights and a mature tree in a neighbouring garden. The proposed size and concealed positions, along with the design and material, would ensure that the bin store would integrate well within the existing front garden space and setting of the listed building, as well as allow for a more appropriate means of movement and storage of bins within the property.

### Replacement of hardstanding

- 3.19 The majority of the area of the front garden is covered by a concrete hard surface which is in very poor condition (see Image 15 below).

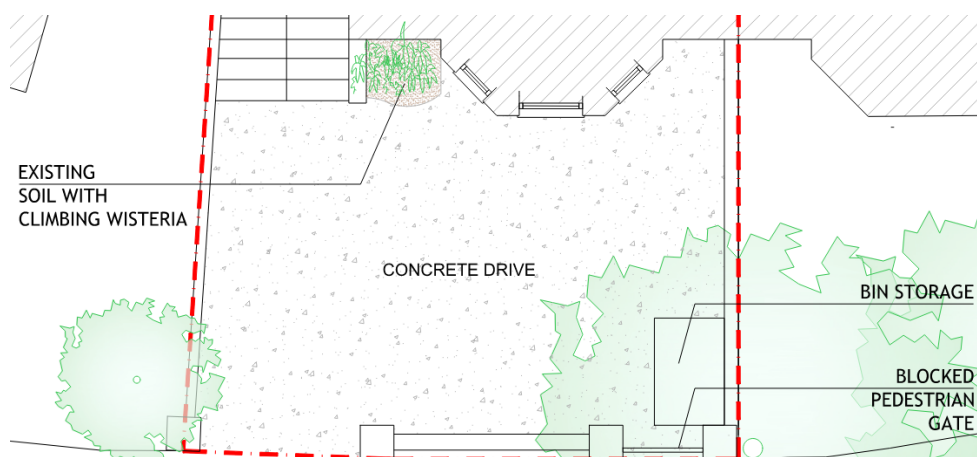


Image 15 – existing concrete hardstanding in front garden of application site

- 3.20 The proposed replacement of the existing concrete hardstanding with sandstone paving, along with a small amount of additional green planting, is considered to be a sympathetic alteration that would preserve the existing character and appearance at the front of the property and streetscene generally (see Image 16 below).



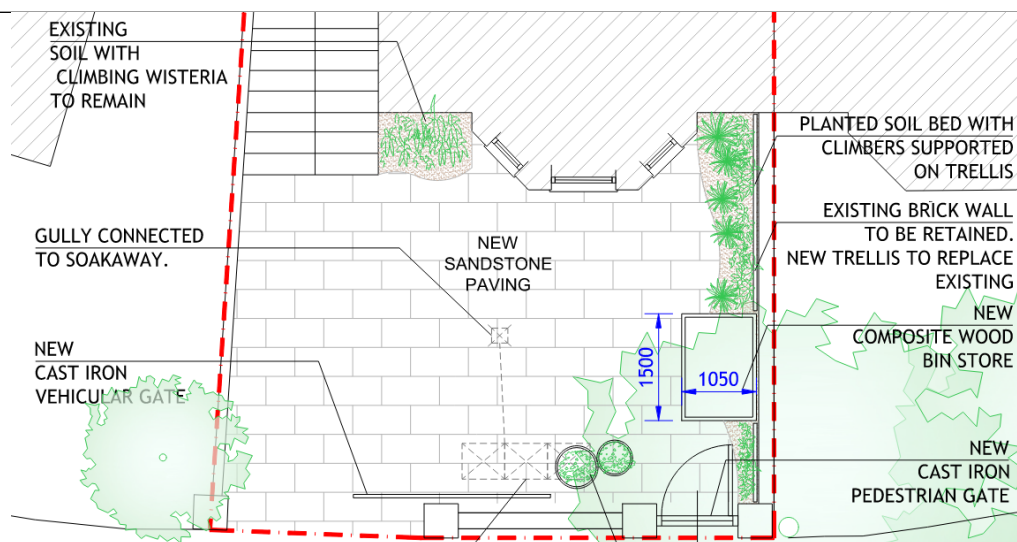


Image 16 – proposed sandstone paving in front garden of application site

3.21 The proposed sandstone material and paving arrangement would allow rainwater to permeate into the ground more readily and reducing surface runoff, supported by proposed soakaway crates which help capture and disperse water into the ground. This would provide a sustainable drainage solution (SUDS) helping to mitigate the risk of any potential flooding and ensuring that an acceptable level of rainwater attenuation and drainage management would be present at the property following the proposed works.

#### Recent appeal

3.22 The PHCAAC provided a response objecting to the proposals which referred to a recent planning appeal at no. 182 Regent's Park Road (APP/X5210/W/24/3346574) which was dismissed dated 03/01/2025, and commented in their response that that the Planning Inspector gave support to the importance of front boundary walls and green front gardens in the townscape of the conservation area.

3.23 While this was indeed the case in that instance, and the need to preserve or enhance the character and appearance of the Primrose Hill Conservation Area was similarly a principal consideration in the Inspector's decision, there are some notable differences between that appeal and the current application proposals.

3.24 It is firstly important to note at the outset that the appeal was against the refusal of the Council to allow the removal of 4 condition (2024/0106/P) of planning permission granted in 2023 (2023/2555/P); the condition relating to a personal condition that required an approved parking space and vehicle entry gate to be removed within 12 months and the front yard and boundary treatment to be remediated or restored. The condition was attached to a planning permission which approved the removal of an existing front boundary brick wall in order to accommodate the new boundary treatment and gate, and removal of soft landscaping to accommodate new paved hardstanding and vehicular access for car parking.

3.25 Some significant differences, therefore, are that in the case of the appeal, an entire brick boundary wall and substantial amount of soft landscaping were entirely removed to create a new hardstanding area for a new car parking space inside the front garden. To the contrary, the current proposals seek permission for only a minor alteration to an existing brick wall and pier which fronts an existing concrete hardstanding area already used for car parking and with an existing crossover. As such, the appeal is significantly different in terms of its impact in the streetscene and conservation area, as it involved a substantial change to the front boundary of the appeal site, whereas the current application proposals involve only a marginal change. The appeal is therefore not considered sufficiently similar as to have a bearing on the determination of the current application.

3.26 Finally, the importance of front gardens in Gloucester Crescent is recognized in the Primrose Hill Conservation Area Appraisal and Management Strategy (page 22), and in particular the loss of a number of walls and front garden areas are noted as having already been altered or lost to forecourt parking. However, it is emphasised again that the current proposals would not negatively impact on the green character of the area as the front garden already has hardstanding and on-site parking space with a crossover, and the alterations to the boundary would only involve a minor loss of brickwork to a non-historic wall and piers recently rebuilt (circa. 2009) and which do not form part of the Grade II listing for the host building.

#### Summary

3.27 In heritage terms, the impact of the proposals would be limited and the alterations would not diminish the ability to understand or appreciate the significance of the listed host building or its' setting, nor would they be detrimental to the settings of any other listed buildings situated in the adjoining terrace or nearby.

3.28 Overall, therefore, the proposed alterations are not considered to be harmful to the special architectural and historic interest of the listed host building, its' setting and significance, and would preserve the character and appearance of the streetscene and wider Primrose Hill Conservation Area. As such, the proposed development is acceptable in design terms in general accordance with Camden Local Plan Policies D1 (Design) and D2 (Heritage), and all relevant guidance.

3.29 In considering whether to grant listed building consent for any works, the Council has had special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses, under s.16 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013. Special attention has also been paid to the desirability of preserving or enhancing the character or appearance of the Primrose Hill Conservation Area, under s.72 of the Planning (Listed Buildings and Conservation Areas Act 1990) as amended by the Enterprise and Regulatory Reform Act 2013.

#### **4. Amenity**

4.1 Local Plan Policy A1 (Managing the impact of development), supported by Camden Planning Guidance (Amenity), seeks to protect the amenity of Camden's residents by ensuring the impact of development is fully considered and by only granting permission to development that would not harm the amenity of communities, occupiers and neighbouring residents.

4.2 There are no amenity concerns to neighbouring residential properties as a result of this proposal given the minor nature of the alterations to an existing front boundary and garden. Proposals to widen the driveway opening are considered to represent an improvement in safety terms to the movement of neighbours and pedestrians alike at the front of the property (see Section 5, 'Transport and public highway' below).

4.3 As such, the proposal accords with Camden Local Plan Policy A1 (Managing the Impact of Development) and with Camden Planning Guidance in amenity terms.

#### **5. Transport and public highway**

5.1 Local Plan Policy A1 (Managing the impact of development) requires development proposals to avoid disruption to the highway network, its function, causing harm to highway safety, hindering pedestrian movement and unnecessary clutter, as well as, addressing the needs of vulnerable users.

5.2 Local Plan Policy T1 (Prioritising walking, cycling and public transport) states that the Council will seek to ensure that developments improve the pedestrian environment, providing high quality footpaths and pavements that are wide enough for the number of people expected to use them, including features to assist vulnerable road users where appropriate. CPG (Transport) supports

this in seeking to ensure that there is no adverse impact on the highway network, the public footway and crossover points.

- 5.3 Local Plan Policy T2 (Parking and car-free development) requires all new development to be car-free while it sets out that the development of boundary treatments and gardens to provide vehicle crossovers and on-site parking will be resisted.
- 5.4 It is firstly noted that the site benefits from an existing crossover and off-street parking space. As such, as a result of the proposals, there would be no change in parking arrangements at the application site, and the proposals would not prejudice current parking conditions on the street or result in any loss of existing publicly available, on-street parking space.
- 5.5 As a consequence of proposals to widen the entry and exit point of the existing driveway, the ability of a driver to manoeuvre a vehicle into or out of the driveway would be significantly improved through increased visibility of other nearby vehicles and pedestrians moving in close proximity, as well as the general ease with which a vehicle can more safely carry out the operation.
- 5.6 Overall, therefore, the proposals would represent an improvement in highway safety terms for both motor vehicle drivers (entering/leaving the premises, as well as other drivers on the road) and pedestrians using the public highway in front of the application.
- 5.7 As such, the proposal would improve highway safety and pedestrian movement, without prejudicing current parking conditions at the site and within the streetscene, in accordance with Local Plan Policies A1 (Managing the impact of development), T1 (Prioritising walking, cycling and public transport) and T2 (Parking and car-free development), and all related guidance.

## **6. Biodiversity**

- 6.1 Local Plan Policy A3 (Biodiversity), in support the London Biodiversity Strategy and the Camden Biodiversity Action Plan (BAP), seeks to ensure that the Council maximises opportunities for biodiversity in and around developments in order to deliver a net gain in biodiversity and a range of wider environmental benefits. It is noted that the Biodiversity Net Gain (BNG) requirement came into effect for major applications on 12/02/2024 and for small sites on 02/04/2024.
- 6.2 However, there are several statutory exemptions and transitional arrangements which mean that the BNG condition does not always apply. These are summarised by way of an informative attached to this decision.
- 6.3 In this particular case, there is no requirement for the approval of a Biodiversity Gain Plan because it is a Householder application.

## **7. Recommendation**

- 7.1 It is therefore recommended that planning permission and listed building consent be granted

### **DISCLAIMER**

***The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 15th December 2025, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to [www.camden.gov.uk](http://www.camden.gov.uk) and search for 'Members Briefing'.***

Application ref: 2025/1615/P  
Contact: Tony Young  
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Email: [Tony.Young@camden.gov.uk](mailto:Tony.Young@camden.gov.uk)  
Date: 8 December 2025

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[www.camden.gov.uk](http://www.camden.gov.uk)

MBBM Studio Architects  
1 Manor Drive  
London  
N20 0DZ

# DRAFT

Dear Sir/Madam

## DECISION

Town and Country Planning Act 1990 (as amended)

### Householder Application Granted

Address:  
**61 Gloucester Crescent**  
**London**  
**NW1 7EG**

#### Proposal:

Alterations to existing front boundary brick wall and pier to provide enlarged vehicular access space, installation of black cast iron automated sliding vehicular gate and pedestrian gate, replacement composite wood bin store in front garden, and replacement of concrete paving to existing driveway with sandstone paving.

Drawing Nos: (202532-P-)001, 101 rev A, 102 rev A, 103 rev 0, 104 rev A; Design & Access (and Heritage) statement (rev A) from MBBM Studio Architects revised date 05/06/2025.

The Council has considered your application and decided to grant permission subject to the following condition(s):

#### Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans: (202532-P-)001, 101 rev A, 102 rev A, 103 rev 0, 104 rev A; Design & Access (and Heritage) statement (rev A) from MBBM Studio Architects revised date 05/06/2025.

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 3 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at [www.camden.gov.uk](http://www.camden.gov.uk)) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

- 4 Biodiversity Net Gain (BNG) Informative:

The effect of paragraph 13 of Schedule 7A to the Town and Country Planning Act 1990 ("1990 Act") is that planning permission granted in England is subject to the condition ("the biodiversity gain condition") that development may not begin unless:

(a) a Biodiversity Gain Plan (BGP) has been submitted to the local planning authority (LPA), and

(b) the LPA has approved the plan.

The LPA that would approve any BGP (if required) is London Borough of Camden.

There are statutory exemptions and transitional arrangements which mean that the biodiversity gain condition does not always apply. These are summarised below, but you should check the legislation yourself and ensure you meet the statutory requirements.

This application will not require the approval of a BGP before development is begun because it is a Householder Application.

++ Summary of transitional arrangements and exemptions for biodiversity gain condition

The following are provided for information and may not apply to this permission:

1. The planning application was made before 12 February 2024.

2. The planning permission is retrospective.

3. The planning permission was granted under section 73 ("1990 Act") and the original (parent) planning permission was made or granted before 12 February 2024.

4. The permission is exempt because of one or more of the reasons below:

- It is not "major development" and the application was made or granted before 2 April 2024, or planning permission is granted under section 73 and the original (parent) permission was made or granted before 2 April 2024.

- It is below the de minimis threshold (because it does not impact an onsite priority habitat AND impacts less than 25sqm of onsite habitat with biodiversity value greater than zero and less than 5m in length of onsite linear habitat).

- The application is a Householder Application.

- It is for development of a "Biodiversity Gain Site".

- It is Self and Custom Build Development (for no more than 9 dwellings on a site no larger than 0.5 hectares and consists exclusively of dwellings which are Self-Build or Custom Housebuilding).

- It forms part of, or is ancillary to, the high-speed railway transport network (High Speed 2).

+ Irreplaceable habitat:



If the onsite habitat includes Irreplaceable Habitat (within the meaning of the BGR (Irreplaceable Habitat) Regulations 2024) there are additional requirements. In addition, the BGP must include information on compensation for any impact on the biodiversity of the irreplaceable habitat. The LPA can only approve a BGP if satisfied that the impact on the irreplaceable habitat is minimised and appropriate arrangements have been made for compensating for any impact which do not include the use of biodiversity credits.

**++ The effect of section 73(2D) ("1990 Act")**

If planning permission is granted under section 73, and a BGP was approved in relation to the previous planning permission ("the earlier BGP"), the earlier BGP may be regarded as approved for the purpose of discharging the biodiversity gain condition on this permission. It will be regarded as approved if the conditions attached (and so the permission granted) do not affect both the post-development value of the onsite habitat and any arrangements made to compensate irreplaceable habitat as specified in the earlier BGP.

**++ Phased development**

The BGP will be required to be submitted to and approved by the LPA before development can begin (the overall plan), and before each phase of development can begin (phase plans). The modifications in respect of the biodiversity gain condition are set out in Part 2 of the Biodiversity Gain (Town and Country Planning) (Modifications and Amendments) (England) Regulations 2024.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with the National Planning Policy Framework. The council publishes its adopted policies online, along with detailed Camden Planning Guidance. It also provides advice on the website for submitting applications and offers a pre-application advice service.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-householder-planning-decision>.

If you submit an appeal against this decision you are now eligible to use the new [submission form](#) (Before you start - Appeal a planning decision - GOV.UK).

Yours faithfully

Chief Planning Officer

Application ref: 2025/1664/L  
Contact: Tony Young  
Tel: 020 7974 2687  
Email: [Tony.Young@camden.gov.uk](mailto:Tony.Young@camden.gov.uk)  
Date: 8 December 2025

**Development Management**  
Regeneration and Planning  
London Borough of Camden  
Town Hall  
Judd Street  
London  
WC1H 9JE  
Phone: 020 7974 4444  
[planning@camden.gov.uk](mailto:planning@camden.gov.uk)  
[www.camden.gov.uk](http://www.camden.gov.uk)

MBBM Studio Architects  
1 Manor Drive  
London  
N20 0DZ

# DRAFT

Dear Sir/Madam

## DECISION

Planning (Listed Building and Conservation Areas) Act 1990

### Listed Building Consent Granted

Address:  
**61 Gloucester Crescent**  
**London**  
**NW1 7EG**

# DECISION

#### Proposal:

External alterations to existing front boundary brick wall and pier to provide enlarged vehicular access space, installation of black cast iron automated sliding vehicular gate and pedestrian gate, replacement composite wood bin store in front garden, and replacement of concrete paving to existing driveway with sandstone paving.

Drawing Nos: (202532-P-)001, 101 rev A, 102 rev A, 103 rev 0, 104 rev A; Design & Access (and Heritage) statement (rev A) from MBBM Studio Architects revised date 05/06/2025.

The Council has considered your application and decided to grant subject to the following condition(s):

#### Conditions And Reasons:

- 1 The works hereby permitted shall be begun not later than the end of three years from the date of this consent.

Reason: In order to comply with the provisions of Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans: (202532-P-)001, 101 rev A, 102 rev A, 103 rev 0, 104 rev A; Design & Access (and Heritage) statement (rev A) from MBBM Studio Architects revised date 05/06/2025.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the Camden Local Plan 2017.

- 3 All new work and work of making good shall be carried out to match the existing adjacent work as closely as possible in materials and detailed execution.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the Camden Local Plan 2017.

Informative(s):

- 1 You are advised that any works of alterations or upgrading not included on the approved drawings which are required to satisfy Building Regulations or Fire Certification may require a further application for listed building consent.
- 2 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 3 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 4 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at [www.camden.gov.uk](http://www.camden.gov.uk)) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

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In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with the National Planning Policy Framework. The council publishes its adopted policies online, along with detailed Camden Planning Guidance. It also provides advice on the website for submitting applications and offers a pre-application advice service.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Chief Planning Officer

**DRAFT**

**DECISION**