

2025-4361-P 9 Wadham Gardens – Map



1 LOCATION PLAN
Scale: 1:1250

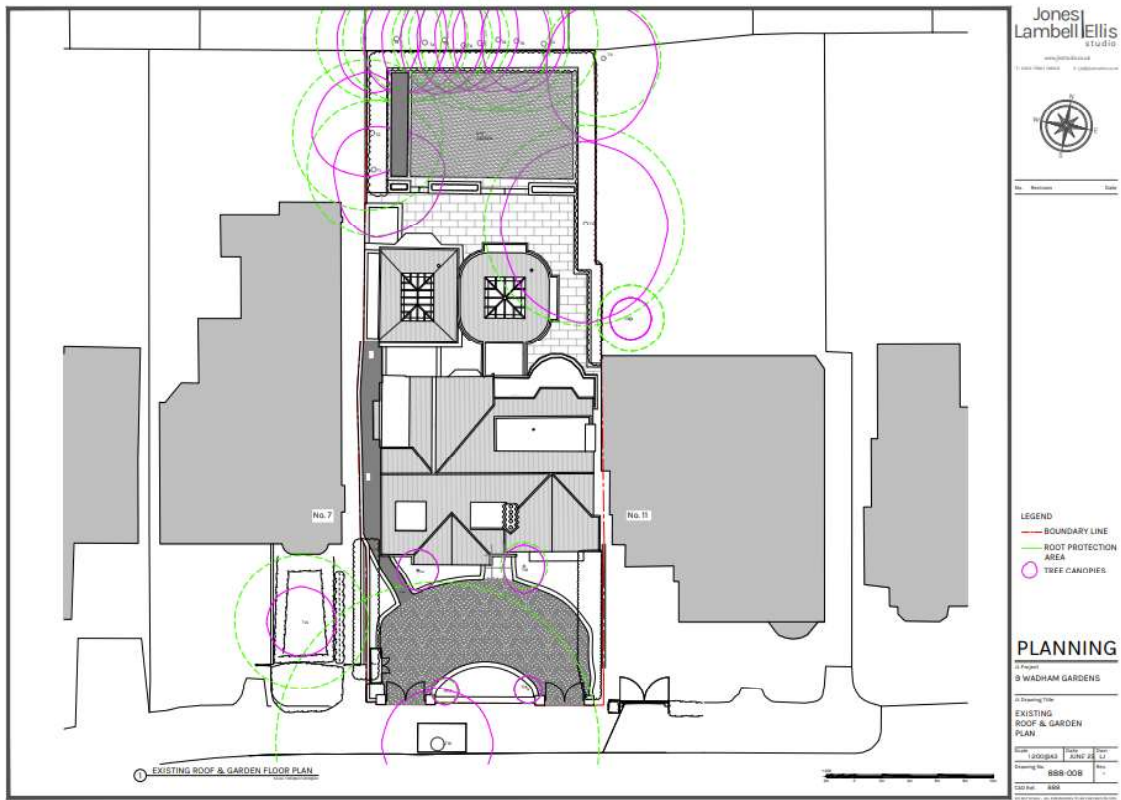
2025-4361 – 9 Wadham Gardens – Photos and Drawings



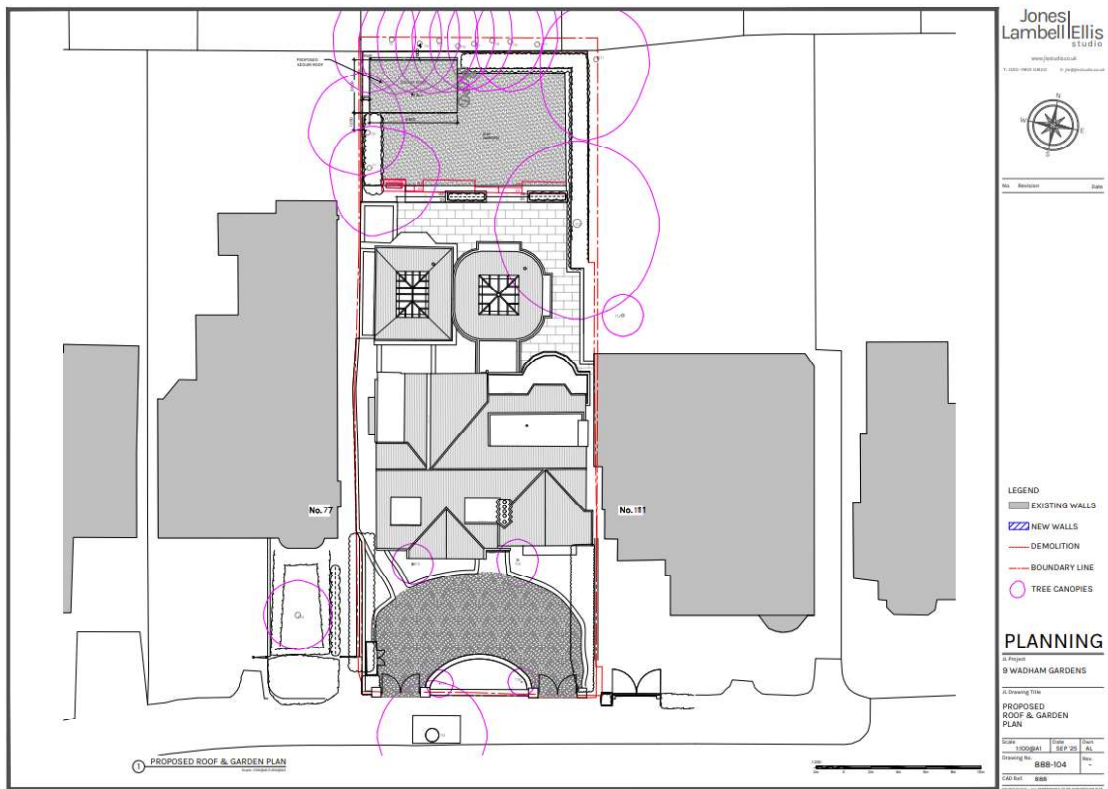
Existing rear elevation of house (Proposed outbuilding is to be sited in corner of the garden – to the right)



The proposed outbuilding will be sited in the far corner of the garden – no trees will be removed and conditions will be imposed to protect and safeguard the trees



Existing plan of site



Proposed site plan with proposed outbuilding shown in north east corner

Delegated Report (Members Briefing)		Analysis sheet		Expiry Date:	26/11/2025
		N/A / attached		Consultation Expiry Date:	02/11/2025
Officer			Application Number(s)		
Adam Greenhalgh			2025/4361/P		
Application Address			Drawing Numbers		
9 Wadham Gardens NW3 3DN			Refer to draft decision notice		
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature		
Proposal(s)					
Erection of a single storey garden room at the rear of the garden					
Recommendation(s):		Grant conditional planning permission			
Application Type:		Householder Planning Permission			

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice			
Informatives:				
Consultations				
Summary of consultation	A site notice was displayed at the site and in the vicinity of 141 King Henry's Road to the rear on 08/10/2025, which expired on 01/11/2025. A press notice was published on 09/10/2025 and expired on 02/11/2025.			
Adjoining Occupiers:	No. of responses	00	No. of objections	00
Summary of consultation responses:	No responses from neighbours were received.			
Belsize Conservation Area Advisory Committee;	<p>'BCAAC objected to the previous application for a garden room 2025/2827/P on the grounds that it reduced the area of soft landscaping/garden too much. The application was withdrawn. Rather than being reduced in size the new application appears to be marginally bigger. 3900 by 6400 and 3500 high. The withdrawn plan with the BCAAC objection was to be 3900 by 6400 and 3200 high. There is therefore no apparent improvement in the latest plan and therefore the objection still stands'</p> <p><i>Officer response:</i></p> <p><i>The current proposal measures between 2.8m to 3.5m in height. It has been designed with a low pitched roof, which will include a sedum roof. Given the size, siting and design it is considered to be an appropriate development which will not harm the openness, character or appearance of the Conservation Area (see 'Design and Heritage' within the Assessment section below)</i></p>			

Site Description

The application site comprises a three-storey detached dwelling (with accommodation within the roof) on the north side of Wadham Gardens in the Elsworthy Conservation Area. The building has single storey rear extensions and a patio and rear garden beyond. There are existing trees in the rear garden (close to the boundary with 7 Wadham Gardens) and also within the site to the rear (143a King Henry's Road). The building is not listed but identified as a positive contributor to the Elsworthy Conservation Area

Relevant History

2025/2968/P - Alterations to front and side elevation, including erection of cantilevered canopy above front entrance; resurfacing of existing driveway; introduction of pedestrian gate and railings; landscaping and associated works – **granted 22/08/2025**

2025/2827/P - Erection of a timber-clad external room to be used as a gym at the rear of the garden, with timber access decking and pergola structure above entrance, and associated works – **withdrawn 04/08/2025** (The application was withdrawn following concerns raised in relation to the appearance of the outbuilding and its effects on the character and appearance of the Conservation Area. It was flat roofed and different in height to the current proposal)

2024/2510/P - Erection of a single storey side extension to the west elevation of the property – **granted 02/08/2024**

2024/1265/P - Erection of single storey rear extension and rebuilding of the infill extension. Replacement of existing doors and windows and external landscaping upgrades including a new bike store – **granted 12/07/2024**

2021/4568/P - Creation of a new basement floor under the footprint of the existing property with new front lightwell, installation of an air source heat pump with acoustic enclosure in rear garden, and associated modifications to the property – **granted, subject to a legal agreement – 17/02/2023**

Relevant policies

National Planning Policy Framework (2024)

The London Plan (2021)

Camden Local Plan (2017)

- A1 Managing the impact of development
- A2 Open space
- A3 Biodiversity
- D1 Design
- D2 Heritage

Camden Planning Guidance:

- CPG Amenity (Jan 2021)
- CPG Biodiversity (March 2018)
- CPG Design (Jan 2021)
- CPG Home Improvements (Jan 2021)

Elsworthy Road Conservation Area Appraisal and Management Strategy (2009)

Draft Camden Local Plan (2024)

The council has published a new Draft Camden Local Plan (incorporating Site Allocations) for consultation (DCLP). The Proposed Submission Draft Camden Local Plan was submitted to the Secretary of State for Housing, Communities and Local Government on the 3 October 2025 for independent examination, in accordance with Regulation 22 of the Town and Country Planning (Local Planning) (England) Regulations 2012 (as amended). The Plan will now be examined by a Planning Inspector.

Previously, the Council published the draft new Camden Local Plan for consultation in January 2024 and published an updated Proposed Submission Draft Camden Local Plan for consultation from 1 May to 27 June 2025.

The Proposed Submission Draft Local Plan is a significant material consideration in the determination of planning applications but has limited weight at this stage. The weight that can be given to an emerging plan increases as it progresses towards adoption. In line with paragraph 49 of the National Planning Policy Framework (NPPF), the degree of weight to be given is a matter for the decision-maker, having regard to the stage of preparation, the extent of unresolved objections, and the consistency of the draft policies with the NPPF.

Assessment

1. The proposal

- 1.1. The applicant is seeking permission to erect an outbuilding in the rear garden.
- 1.2. The outbuilding would be located in the north east corner of the garden and it would measure 3.9m in depth and 6.4m in width. It would have a pitched roof which would be 2.8m in height at the rear and 3.5m in height at the front. The structure would be made of timber with a sedum roof. It would have two pairs of glazed doors at the front and a circular window in the side elevation (onto the garden). It would be used as a home gym.
- 1.3. There have been no revisions made to the proposal during the course of the application. However, it should be noted that the application has been submitted pursuant to the withdrawal of application 2025/2827/P (see 'Relevant History' above) which was for a flat roofed outbuilding of the same width and depth but with a flat roof 3.2m in height. The application was withdrawn by the applicant following concerns raised in relation to the appearance of the outbuilding and its effects on the character and appearance of the Conservation Area. It was flat roofed and different in height to the current proposal

2. Design and Heritage

Policy context

- 2.1. The Council's design policies are aimed at achieving the highest standard of design in all developments. The following considerations contained within policy D1 are relevant to the application: development should respect local context and character; comprise details and materials that are of high quality and complement the local character; and respond to natural features. Policy D2 seeks to preserve and, where appropriate, enhance Camden's rich and diverse heritage assets, including conservation areas.
- 2.2. Policy A2 seeks to protect non-designated spaces with nature conservation, townscape or amenity value, including gardens. The sub-text to the policy notes that development within rear gardens and other undeveloped areas can have a significant impact upon the amenity and character of the area; and gardens provide a setting for buildings, provide visual interest and support natural habitats. It is noted that the Council will resist development that occupies an excessive part of a garden and will also seek the retention of important views and glimpses of green space, such as gardens.
- 2.3. CPG Design states that good design should respond appropriately to the existing context by ensuring the scale of the proposal overall integrates well with the surrounding area and carefully responding to the scale, massing and height of adjoining buildings and the general pattern of heights in the surrounding area. The Council will only permit development within conservation areas and development affecting the setting of conservation areas, that preserves and where possible enhances the character and appearance of the area.
- 2.4. CPG Home Improvements states that outbuildings should ensure the siting, location, scale and design has a minimal visual impact on and is visually subordinate within the host garden. They should not detract from the open character and garden amenity of neighbouring gardens and the wider surrounding area. They should ensure the size will maximise retention of garden and amenity space.
- 2.5. S.10 of the Elsworthy Road Conservation Area appraisal and management strategy (Maintaining Character) notes that 'in undertaking its development control function the Council will ensure that the historic details which are an essential part of the special architectural character of Elsworthy Conservation Area are preserved, repaired and reinstated where appropriate'.

Assessment

- 2.6. The proposed outbuilding would be located at the in the north east corner of the site and set off the boundaries of the site by a minimum of 500mm. It would be approximately 9m from the extensions at the rear of the house and it would extend across approximately half the width of the garden. With an area of 25 sq m it would occupy approximately 16% of the garden area beyond the patio to the rear of the house. As such, it is considered not to be excessive and to respect and comply with the policy A2 part e for protecting open space within gardens and preserving the character and appearance of the Conservation Area. With a sedum covered pitched roof that includes a sloping roof measuring 2.8 – 3.5m in height and timber walls it would respect the verdant nature of the rear garden setting and would not harm the character and appearance of the Conservation Area.
- 2.7. As noted in 'Biodiversity' below, no trees would be removed and subject to conditions relating to details of foundations, tree protection measures and the specification of the green roof, there would be no harm to the green nature of the rear garden environment in the Conservation Area.
- 2.8. Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area.

2.9. Overall, the visual impact from the proposal is considered acceptable and will not be harmful to the appearance and character of the host property or the conservation area. The proposed development is considered to be in accordance with policies D1 (Design) and D2 (Heritage) of the London Borough of Camden Local Plan 2017.

3. Amenity

- 3.1. Policy A1 seeks to protect the quality of life of occupiers and neighbours by only granting permission to development that would not harm the amenity of residents. This includes factors such as privacy, outlook, implications to natural light, artificial light spill, odour and fumes as well as impacts caused from the construction phase of development.
- 3.2. The proposed outbuilding would be in the north east corner of the garden and due to its height and distance from the neighbouring houses it would not result in any significant loss of light, privacy or outlook for any neighbouring occupiers. The use as a home gym should not result in any undue noise outbreak. A condition will be added to ensure that the outbuilding would only be used for purposes incidental to the enjoyment of the main house and not as a separate dwelling or for any commercial purposes – in the interests of safeguarding the character of the area and the amenity of neighbouring occupiers.
- 3.3. The proposed outbuilding would include glazed doors and a side window. The window would not overlook any rooms or the garden spaces of any neighbouring dwellings. Furthermore, it is not considered that the proposed fenestration would result in undue light spill at any neighbouring sites to the detriment of the occupiers' visual or residential amenity.
- 3.4. Overall, the amenity impact in terms of loss of light, outlook, privacy, light spillage or noise disturbance is considered acceptable and in accordance with Policies A1 (Managing the impact of development) of the London Borough of Camden Local Plan 2017.

4. Biodiversity

- 4.1. Policy A3 seeks to protect and secure additional, trees and vegetation. The Council will resist the loss of trees and vegetation of significant amenity, historic, cultural or ecological value including proposals which may threaten the continued wellbeing of such trees and vegetation. Replacement trees or vegetation are expected to be provided where the loss of significant trees or vegetation or harm to the wellbeing of these trees and vegetation has been justified in the context of the proposed development.
- 4.2. It is noted there are some trees close to the proposed outbuilding both at the site and within the site to the rear. An Arboricultural Implications Assessment and Tree Protection Plan have been submitted. The Council's Tree Officer has reviewed the submitted information and is satisfied that the development will not result in any significant harm to the biodiversity and amenity value of the tree coverage, subject to conditions to secure details of foundations of the outbuilding and tree protection measures to be put in place during construction. The conditions are attached accordingly.
- 4.3. A green roof is shown on the outbuilding. This will ensure a satisfactory level of replacement greenery is provided. A condition to secure the submission, approval and implementation of appropriate details (e.g. construction, planting schedule and maintenance) is deemed necessary and duly attached.
- 4.4. Overall, the proposed development is considered acceptable on biodiversity terms and complies with policies A2 (Open space) and A3 (Biodiversity) of the London Borough of Camden Local Plan 2017.

5. Biodiversity Net Gains (BNGs)

- 5.1. BNG is an approach to development that ensures that habitats for wildlife are left in a measurably better state than they were before the development. Developers must deliver a BNG target of 10%, which means a development will result in more or better-quality natural habitat than there was before development. Biodiversity net gain (BNG) is mandatory from 12 February 2024.
- 5.2. As a householder application it is considered that the development would potentially be exempt from BNG requirements.
- 5.3. An informative is added to advise the applicant of the BNG legislation and to seek compliance if necessary.

6. Conclusion

- 6.1. The proposed development is in general accordance with Policies A1 (Managing the impact of development), A2 (Open space), A3 (Biodiversity), D1 (Design) and D2 (Heritage) of the Camden Local Plan 2017, the London Plan 2021, and the National Planning Policy Framework 2024.

7. Recommendation

Grant conditional Planning Permission

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 15th December 2025, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2025/4361/P
Contact: Adam Greenhalgh
Tel: 020 7974 6341
Email: Adam.Greenhalgh@camden.gov.uk
Date: 10 December 2025

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Newmark
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DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Householder Application Granted

Address:
9 Wadham Gardens
London
Camden
NW3 3DN

DECISION

Proposal:
Erection of a single storey garden room at the rear of the garden

Drawing Nos:
Drawings: 888:-001, 002, 008, 034, 035, 104, 105, 124, 125, 225220 02 Rev P 02, 225220
MNP XX XX DR S 2100

Arboricultural Implications Assessment (Open Spaces - June 2025), Tree Protection Plan - OS 3161-25.1, Design & Access Statement (Jones Lambell Ellis Studio), Heritage Statement (Portico Heritage - September 2025)

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved documents and drawings:

Drawings: 888:-001, 002, 008, 034, 035, 104, 105, 124, 125, 225220 02 Rev P 02, 225220 MNP XX XX DR S 2100

Arboricultural Implications Assessment (Open Spaces - June 2025), Tree Protection Plan - OS 3161-25.1, Design & Access Statement (Jones Lambell Ellis Studio), Heritage Statement (Portico Heritage - September 2025)

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 4 Prior to the commencement of any works on site, details demonstrating how trees to be retained shall be protected during construction work shall be submitted to and approved by the local planning authority in writing. Such details shall follow guidelines and standards set out in BS5837:2012 "Trees in Relation to Construction". All trees on the site, or parts of trees growing from adjoining sites, unless shown on the permitted drawings as being removed, shall be retained and protected from damage in accordance with the approved protection details.

Reason: To ensure that the development will not have an adverse effect on existing trees and in order to maintain the character and amenity of the area in accordance with the requirements of policies A2 and A3 of the London Borough of Camden Local Plan 2017.

- 5 Prior to commencement of any works on site, details of the design of building foundations and the layout, with dimensions and levels, of service trenches and other excavations on site in so far as these items may affect trees on or adjoining the site, shall be submitted to and approved in writing by the local planning authority. The relevant part of the works shall not be carried out otherwise than in accordance with the details thus approved.

Reason: To ensure that the development will not have an adverse effect on existing trees and in order to maintain the character and amenities of the area in accordance with the requirements of policies A2 and A3 of the London Borough of Camden Local Plan 2017.

- 6 Prior to commencement of development, full details in respect of the green roof in the area indicated on the approved roof plan shall be submitted to and approved by the local planning authority. The details shall include:
- i. a detailed scheme of maintenance
 - ii. sections at a scale of 1:20 with manufacturers details demonstrating the construction and materials used
 - iii. full details of planting species and density

Such details shall include an assessment of the orientation and pitch of the roof, and the degree of shade cast from nearby trees which will inform the species selection. Details of a rain water return system that discharges on the south side of the studio shall be included with the submission.

The green roof shall be fully provided in accordance with the approved details prior to first occupation and thereafter retained and maintained in accordance with the approved scheme.

Reason: In order to ensure the development undertakes reasonable measures to take account of biodiversity and the water environment in accordance with policies G1, CC1, CC2, CC3, D1, D2 and A3 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 Biodiversity Net Gain (BNG) Informative (1/3):
The effect of paragraph 13 of Schedule 7A to the Town and Country Planning Act 1990 ("1990 Act") is that planning permission granted in England is subject to the condition ("the biodiversity gain condition") that development may not begin unless:
(a) a Biodiversity Gain Plan has been submitted to the planning authority, and
(b) the planning authority has approved the plan.

The local planning authority (LPA) that would approve any Biodiversity Gain Plan (BGP) (if required) is London Borough of Camden.

There are statutory exemptions and transitional arrangements which mean that the biodiversity gain condition does not always apply. These are summarised below, but you should check the legislation yourself and ensure you meet the statutory requirements.

Based on the information provided, this will not require the approval of a BGP before development is begun because it is a Householder Application.

3 Biodiversity Net Gain (BNG) Informative (2/3):

+ Summary of transitional arrangements and exemptions for biodiversity gain condition

The following are provided for information and may not apply to this permission:

1. The planning application was made before 12 February 2024.
2. The planning permission is retrospective.
3. The planning permission was granted under section 73 of the Town and Country Planning Act 1990 and the original (parent) planning permission was made or granted before 12 February 2024.
4. The permission is exempt because of one or more of the reasons below:
 - It is not "major development" and the application was made or granted before 2 April 2024, or planning permission is granted under section 73 and the original (parent) permission was made or granted before 2 April 2024.
 - It is below the de minimis threshold (because it does not impact an onsite priority habitat AND impacts less than 25 square metres of onsite habitat with biodiversity value greater than zero and less than 5 metres in length of onsite linear habitat).
 - The application is a Householder Application.
 - It is for development of a "Biodiversity Gain Site".
 - It is Self and Custom Build Development (for no more than 9 dwellings on a site no larger than 0.5 hectares and consists exclusively of dwellings which are Self-Build or Custom Housebuilding).
 - It forms part of, or is ancillary to, the high-speed railway transport network (High Speed 2).

4 Biodiversity Net Gain (BNG) Informative (3/3):

+ Irreplaceable habitat:

If the onsite habitat includes Irreplaceable Habitat (within the meaning of the Biodiversity Gain Requirements (Irreplaceable Habitat) Regulations 2024) there are additional requirements. In addition to information about minimising adverse impacts on the habitat, the BGP must include information on compensation for any impact on the biodiversity of the irreplaceable habitat. The LPA can only approve a BGP if satisfied that the impact on the irreplaceable habitat is minimised and appropriate arrangements have been made for compensating for any impact which do not include the use of biodiversity credits.

+ The effect of section 73(2D) of the Town & Country Planning Act 1990

If planning permission is granted under section 73, and a BGP was approved in relation to the previous planning permission ("the earlier BGP"), the earlier BGP may be regarded as approved for the purpose of discharging the biodiversity gain condition on this permission. It will be regarded as approved if the conditions attached (and so the permission granted) do not affect both the post-development value of the onsite habitat and any arrangements made to compensate irreplaceable habitat as specified in the earlier BGP.

+ Phased development

In the case of phased development, the BGP will be required to be submitted to and approved by the LPA before development can begin (the overall plan), and before each phase of development can begin (phase plans). The modifications in respect of the biodiversity gain condition in phased development are set out in Part 2 of the Biodiversity Gain (Town and Country Planning) (Modifications and Amendments) (England) Regulations 2024.

- 5 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 6 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at www.camden.gov.uk) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with the National Planning Policy Framework. The council publishes its adopted policies online, along with detailed Camden Planning Guidance. It also provides advice on the website for submitting applications and offers a pre-application advice service.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-householder-planning-decision>.

If you submit an appeal against this decision you are now eligible to use the new [submission form](#) (Before you start - Appeal a planning decision - GOV.UK).

Yours faithfully

Chief Planning Officer