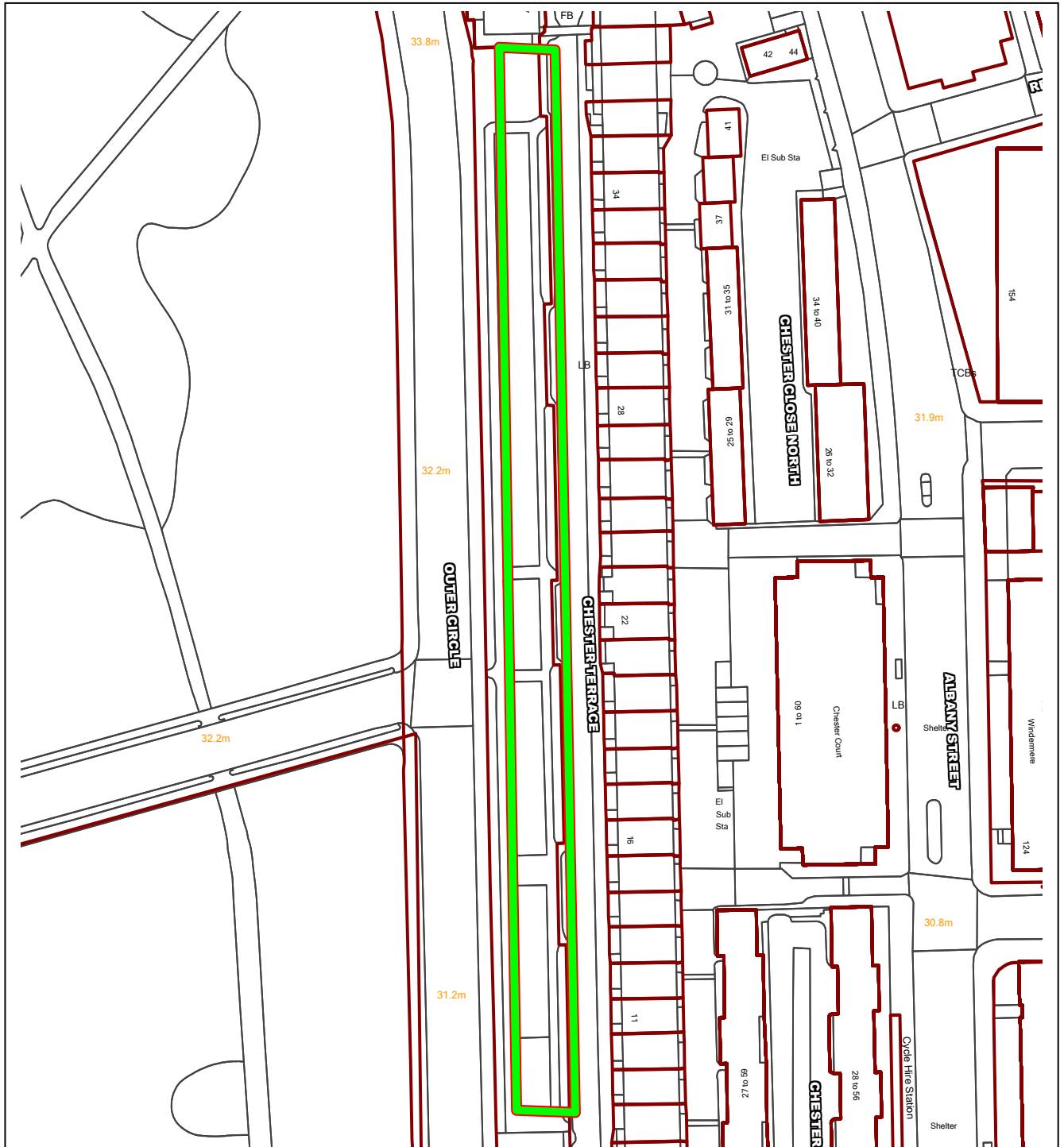


2025/0063/P & 2025/0116/L

Chester Terrace Gardens



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Site Photos



1. Chester Terrace Gardens aerial view



2. Chester Terrace as viewed from Regent's Park



3. Chester Terrace as viewed from Outer Circle



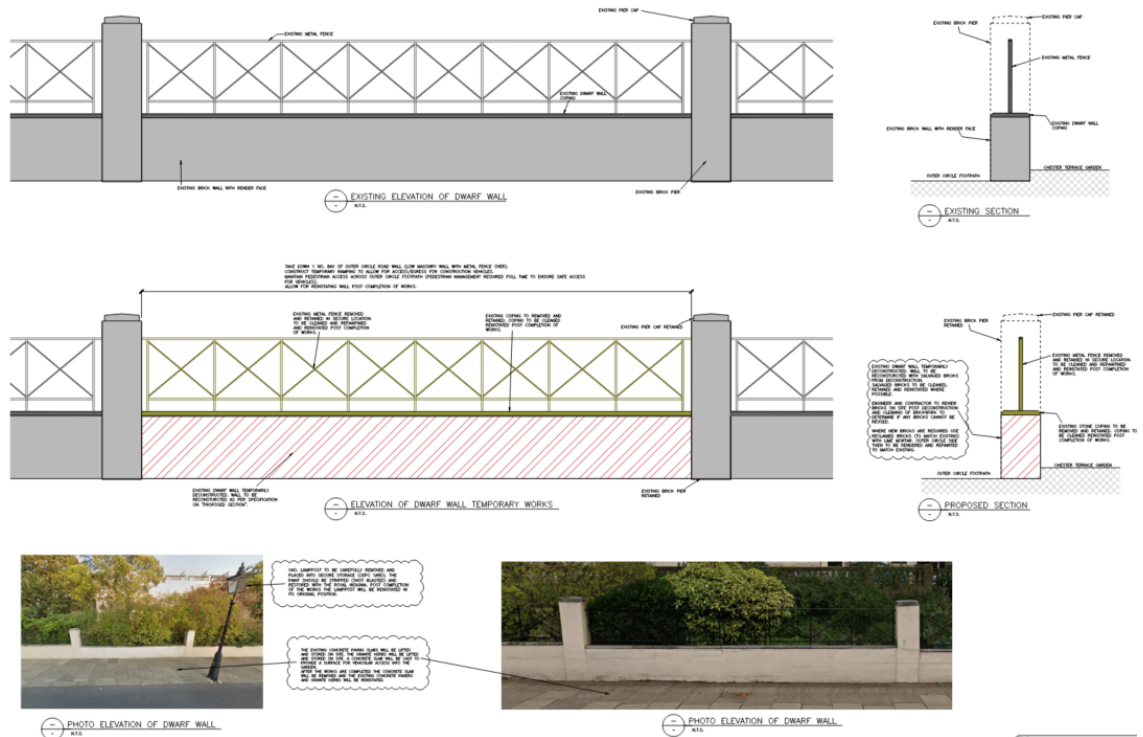
4. Existing balustrade cordoned off by temporary gates



5. Existing wall with cracks being propped up by scaffolding and cordoned off by temporary gates



6. Existing wall cordoned off



7. Existing and proposed elevation and section of the Outer Circle Wall

Delegated Report (Members Briefing)		Analysis sheet	Expiry Date:	i) 05/03/2025 ii) 05/03/2025
		N/A / attached	Consultation Expiry Date:	i) 20/02/2025 ii) 20/02/2025
Officer			Application Number(s)	
Edward Hodgson			i) 2025/0063/P ii) 2025/0116/L	
Application Address			Drawing Numbers	
Chester Terrace Gardens Chester Terrace London NW1 4ND			See draft decision notice	
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature	
Proposal(s)				
i) Temporary deconstruction and like-for-like reconstruction of 2 bays of the Outer Circle dwarf wall and associated works to facilitate the replacement of the garden retaining wall ii) Temporary deconstruction and like-for-like reconstruction of 2 bays of the Outer Circle dwarf wall and associated works to facilitate the replacement of the garden retaining wall				
Recommendation(s):	i) Grant Conditional Planning Permission ii) Grant Listed Building Consent			
Application Types:	i) Full Planning Permission ii) Listed Building Consent			

Conditions or Reasons for Refusal:	Refer to Draft Decision Notices			
Informatives:				
Consultations				
Adjoining Occupiers:	No. of responses	00	No. of objections	00
Summary of consultation responses:	Press Notice: published 23/01/2025, expired 16/02/2025 Site Notice: displayed 15/01/2025, expired 08/02/2025 No responses were received from neighbouring occupiers.			

<p>Regent's Park CAAC</p>	<p>A letter of objection was received by the Regent's Park CAAC. Concerns arising from the objection are summarised below:</p> <ul style="list-style-type: none"> • The CAAC acknowledges that this application has a lesser impact than the previously consent application in terms of harm to the historic landscape, ecology and biodiversity • The CAAC urges the use of less disruptive construction processes as set out in the Price and Myers document sent to the Chester Terrace Residents' Association, in particular, concern over the 21 tonne excavator • Permission should be granted subject to a Construction Management Plan <p><u>Officer's Response:</u></p> <ul style="list-style-type: none"> • <i>Design and heritage impacts of the proposed development are assessed in Section 3 below.</i> • <i>Tree and landscaping are assessed in Section 5 below.</i> • <i>Transport is covered in section 6 below. Given the nature and scale of the scheme, a Construction Management Plan (CMP) is not required for this application.</i> • <i>The approach to replacing the existing inner wall and balustrade using a 21 tonne excavator has already been confirmed under the previous application by the Council's Structural Team. The approach is therefore established by virtue of the previous application. A 21 tonne excavator is required to ensure sufficient power to install the piles for the replacement inner wall. Although the Price and Myers' letter is noted and has been taken into account, the applicant's approach is confirmed as acceptable. In addition, the previous application secured sufficient replacement tree planting to mitigate against the loss of existing trees caused by the excavator. This application also involves a phased approach, whereby the central portion of the inner wall would be replaced and the north and south portions would be repaired under the first phase. This application relates primarily to the temporary removal of sections of the Outer Wall and matters pertaining to the inner garden wall have been established under the previous application.</i>
<p>Chester Terrace Residents' Association (CTRA)</p>	<p>A letter of objection was received by the CTRA. Concerns arising from the objection are summarised below:</p> <ul style="list-style-type: none"> • Loss of existing mature trees and insufficient replacement trees which impacts on biodiversity and ecology. • A more sensitive approach to repairing the wall should be explored, rather than using a 21 tonne excavator • Using a more sensitive approach would alleviate the need to temporarily remove two sections of the wall. • Camden should undertake a more technical and independent review of the engineering to show there is no justification for the 21 tonne excavator. <p><u>Officer's Response:</u></p> <ul style="list-style-type: none"> • <i>Design and heritage impacts of the proposed development are</i>

	<p><i>assessed in Section 3 below.</i></p> <ul style="list-style-type: none"> <i>Tree and landscaping are assessed in Section 5 below.</i> <i>The approach to replacing the existing inner wall and balustrade using a 21 tonne excavator has already been confirmed under the previous application by the Council's Structural Team. The approach is therefore established by virtue of the previous application. A 21 tonne excavator is required to ensure sufficient power to install the piles for the replacement inner wall. Although the Price and Myers' letter is noted and has been taken into account, the applicant's approach is confirmed as acceptable. In addition, the previous application secured sufficient replacement tree planting to mitigate against the loss of existing trees caused by the excavator. This application also involves a phased approach, whereby the central portion of the inner wall would be replaced and the north and south portions would be repaired under the first phase. This application relates primarily to the temporary removal of sections of the Outer Wall and matters pertaining to the inner garden wall have been established under the previous application.</i>
Gardens Trust	The Gardens Trust responded stating that they do not wish to comment on the application.
Historic England	Historic England were consulted on the application and responded with no advice on the application and advising that the Council should seek the views of their own specialist conservation advisers.

Site Description

The application site relates to Chester Terrace Gardens, a private garden space located to the front of Chester Terrace where an existing inner balustrade separates the road from the gardens and another dwarf wall with railings separates the gardens from the Outer Circle.

Nos. 1-42 Chester Terrace are Grade I listed, and the forecourt and garden is Grade II listed along with the 14 lamp posts and railings and parapets. The site is also within the Regent's Park Conservation Area.

The Grade II listed dwarf wall separates the gardens from the Outer Circle and forms the outer boundary treatment of Chester Terrace Gardens, the 'outer wall'. The wall is rendered with copings and black metal railings atop and has rendered pillars. Given the substantial bomb damage Chester Terrace experienced during WWII, it is difficult to assess precisely how much of the outer wall is historic; however, it is understood that the railings and copings are modern replacements dating from the 1950s.

The inner garden retaining wall and balustrade, the 'inner wall', is listed although it is also thought to be non-original in many places. It is currently in a state of disrepair and causing health and safety concerns. Works to demolish and rebuild areas of the damaged inner wall were approved in 2024.

Relevant History

Application Site:

2023/0282/P & 2023/0650/L - Demolition and rebuilding of listed garden retaining wall and balustrade.
Granted - 11/07/2024

Relevant policies

The National Planning Policy Framework 2024

The London Plan 2021

Camden Local Plan 2017

A1 Managing the impact of development

D1 Design

D2 Heritage

A2 Open Spaces

A3 Biodiversity

T1 Prioritising walking, cycling and public transport

Camden Planning Guidance

Amenity CPG (2021)

Design CPG (2021)

Trees CPG (2021)

Transport CPG (2021)

Regent's Park Conservation Area Statement (2011)

Draft Camden Local Plan (DCLP)

The council published a new Draft Camden Local Plan (incorporating Site Allocations) for consultation in January 2024. Responses to the consultation and a [Submission Draft Camden Local Plan](#) (updated to take account of the responses) was reported to Cabinet on 2 April 2025 and the Council on 7 April 2025. The Council resolved to agree the Submission Draft Local Plan for publication and submission to the government for examination following a further period of consultation.

The Council has published the Camden Local Plan Proposed Submission Draft for consultation. The consultation closes on Friday 27 June 2025.

The Submission Draft is a significant material consideration in the determination of planning applications but has limited weight at this stage. The weight that can be given to it will increase as it progresses towards adoption (anticipated 2026).

Assessment

1. Proposal and Background

- 1.1. The applications propose to temporarily remove two sections of the outer wall to allow construction access into the gardens. This is to allow for an alternative construction approach to carry out the works previously consented for the replacement and repair of the inner balustrade and wall which is located within the gardens closer to the properties. The works to the inner wall are likely to be undertaken in a phased approach, starting with the replacement of the central portion and repair of the north and south portions (the first phase). The removal of two sections of the outer wall relate to this first phase.

- 1.2. The pillars in the outer wall effectively create a series of bays, and it is proposed that two of

these bays are removed. The wall with the railings atop measures approx. 1.7m and the pillars measure around 2m in height. Each bay is approx. 6.5m wide. Access Bay B would be the southern entrance and Access Bay A would be to the north.

- 1.3. The wall itself would be temporarily deconstructed with the bricks salvaged and reused unless no longer usable. The wall would then be re-rendered and repainted to match the existing. The coping stones would be removed and retained and cleaned to be reinstated. Likewise, the railings would be retained, cleaned and repainted to then be reinstated upon completion. 1 lamppost would be removed and secured in storage to then be restored and reinstated. The granite kerbs would be lifted and stored to ensure that they are not damaged with a temporary concrete slab installed to provide vehicle access. The granite kerbs would be reinstated upon completion.
- 1.4. The works to the inner balustrade and retaining wall are similar to those as approved under the previous applications. The applicant now wishes to undertake the works approved under the last application in a phased approach, noting that some parts of the wall (the central portion) require more immediate attention and replacement. The first phase would involve the replacement of the central portion, and this application to allow access from the Outer Circle would enable this phase of works to be carried out. Under this first phase, more of the existing wall would be retained (the north and south portions) and only the central portion would be replaced. The previous application included the removal of the entire retaining wall which will be completed in later phases. The north and south portions would undergo superficial remedial works as these sections are less damaged and are in relatively better condition. As such, more of the existing trees would be retained and only 6 would be removed (compared to the 20 previously removed) as the works would be less intrusive during the first phase.

Revisions:

- 1.5. Further detailed drawings were submitted showing the exact locations of the portion of the wall to be removed, and to highlight the adjacent heritage assets such as the lampposts.

2. Assessment

2.1. The principal considerations material to the determination of this application are as follows:

- Design and Heritage
- Amenity
- Trees and Biodiversity
- Transport

3. Design and Heritage

- 3.1. Policy D1 states that the Council will seek to secure high quality design in all cases. This policy states that in order to demonstrate high quality, developments should meet several criteria including: respecting local context and character; being sustainable and durable; and comprising details and materials that are of high quality and complement the local character. It continues to state that the Council will resist development of poor design that fails to take the opportunities available for improving the character and quality of an area. Policy D2 states that the Council will preserve and enhance Camden's heritage assets and their settings.
- 3.2. Sections 16, 66, and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 ("the Listed Buildings Act") provide a statutory presumption in favour of the preservation and enhancement of the character and appearance of conservation areas, and the preservation and enhancement of listed buildings and their settings and special interest. Considerable importance and weight should be attached to their preservation. A proposal which would cause harm should only be permitted where there are strong countervailing planning considerations which are sufficiently powerful to outweigh the presumption.

- 3.3. Planning permission and listed building consent has previously been granted for works to the inner garden balustrade and retaining wall which included its full removal and replacement. The current applications relate to the outer boundary treatment and the removal of two sections to allow construction access into the site to carry out the first phases of the consented works, which proposes to replace the central portion of the inner garden wall while retaining the northern and southern sections. These works to the central portion of the inner garden wall would be in line with works previously approved. Matters pertaining to the replacement and refurbishment of the inner wall/balustrade have been fully assessed under the previous applications. It has previously been confirmed by the Council's Structures Team that the approach to replacing and restoring that wall is acceptable.
- 3.4. The outer wall, as with much of Chester Terrace, was heavily damaged during the Second World War, with much of the building and walls being reconstructed in the mid-twentieth century. It is accepted therefore that much of the outer wall consists of non-historic fabric. In addition, the proposal is temporary in nature and conditions are attached to ensure the wall, railings, granite kerbs and lamppost are fully reinstated upon completion. A condition is attached requiring a method statement to be submitted detailing how these features will be reinstated. The two sections of the wall have been selected to minimise the impact on surrounding heritage assets and on the planting within the gardens.
- 3.5. The works to the inner retaining garden wall and balustrade have already been assessed under the previous application and are acceptable in heritage terms due to its current state of disrepair. Given more of this wall is being retained initially rather than fully replaced as per the previous application, more of the trees are being retained, with 6 now being removed as opposed to 20. The trees and planting have heritage value within the conservation area and thus the greater retention of trees is welcomed.
- 3.6. The council has had special regard to the desirability of preserving the character and appearance of the Conservation Area, and the listed buildings, their settings, and special interest, under s.72, s.66 and s16 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013.
- 3.7. Overall, the proposed works and would not be harmful to the character or appearance of the listed walls, the setting of the nearby listed buildings, street scene or the Regent's Park Conservation Area, in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017.

4. Amenity

- 4.1. Policy A1 of the Local Plan seeks to ensure that development does not cause adverse amenity impacts to neighbours in terms of sunlight, daylight, privacy and overlooking, noise, vibration, and odour.
- 4.2. The works would replace the existing wall and balustrade, and given the nature of the proposal, it would not impact upon neighbouring occupiers in terms of loss of daylight/sunlight, privacy and overlooking.
- 4.3. As such, it is considered there would be no detrimental impact on neighbouring amenity from the proposal and it would be in accordance with Policy A1 of the Camden Local Plan 2017.

5. Trees and Biodiversity

- 5.1. Policy A3 of the Camden Local Plan, in relation to trees states that the Council will resist the loss of trees and vegetation of significant amenity, historic, cultural or ecological value including proposals which may threaten the continued wellbeing of such trees and vegetation;
- k. require trees and vegetation which are to be retained to be satisfactorily protected during the demolition and construction phase of development in line with BS5837:2012 'Trees in relation to Design, Demolition and Construction' and positively integrated as part of the site

layout; l. expect replacement trees or vegetation to be provided where the loss of significant trees or vegetation or harm to the wellbeing of these trees and vegetation has been justified in the context of the proposed development; m. expect developments to incorporate additional trees and vegetation wherever possible.

5.2. This proposal seeks to retain more trees than previously proposed by virtue of the fact that more of the existing retaining garden wall is being retained under the first phase of works. It is noted that the 6no. trees in question were approved for removal under the previous applications. Moreover, 6 new replacement trees are proposed, details of which are secured by condition. The retention of more trees is welcomed from a heritage and ecological perspective.

5.3. The proposal is exempt from the requirements of Biodiversity Net Gain as it would not impact or decrease the biodiversity value, as the baseline condition and habitat would be restored within two years of the initial impact.

6. Transport

6.1. Policy T1 of the Local Plan seeks to promote sustainable transport by prioritising walking, cycling, and public transport in the borough. It seeks to provide high quality footpaths and pavements that are wide enough for the number of people expected to use them and they should include features to help vulnerable road users.

6.2. The proposed would involve access from the road across the Outer Circle pavement. However, given the relatively limited vehicle movement proposed, and the temporary nature of the works, the Council's Transport and Highways Team do not object to the proposals and do not require the imposition of any transport related conditions or obligations such as a Construction Management Plan. The reinstatement of the granite kerbs is secured via condition.

7. Recommendation

7.1.i) Grant conditional planning permission

7.2.ii) Grant conditional listed building consent

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 16th June 2025, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2025/0063/P
Contact: Edward Hodgson
Tel: 020 7974 8186
Email: Edward.Hodgson@camden.gov.uk
Date: 11 June 2025

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE
Phone: 020 7974 4444
planning@camden.gov.uk
www.camden.gov.uk

Hurst Peirce and Malcolm
Celtic House, Johns Mews, Holborn
London
WC1N 2QL

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:

Chester Terrace Gardens
Chester Terrace
London
NW1 4ND

DECISION

Proposal:

Temporary deconstruction and like-for-like reconstruction of 2 bays of the Outer Circle dwarf wall and associated works to facilitate the replacement of the garden retaining wall

Drawing Nos: Please refer to conditions below

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans:

Site Location Plan, 24509-5000 P2, 24509-5001 P2, 24509-5002 P2, 24509-5003 P2, Design and Access Statement (Rev O2), BNG memo, Arboricultural Impact Assessment, Heritage and Design Statement

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies D1 and D2 of the London Borough of Camden Local Plan 2017.

- 4 Prior to the commencement of works on site, tree protection measures shall be installed and working practices adopted in accordance with the document entitled Arboricultural Impact Assessment by TMA dated October 2024 ref. 220928-PD-21 . All trees on the site, or parts of trees growing from adjoining sites, unless shown on the permitted drawings as being removed, shall be retained and protected from damage in accordance with BS5837:2012 and with the approved protection details. The development shall be monitored by the project arboriculturalist in accordance with the approved report.

Reason: To ensure that the development will not have an adverse effect on existing trees and in order to maintain the character and amenity of the area in accordance with the requirements of policies A2 and A3 of the Camden Local Plan.

- 5 No development shall take place until full details of hard and soft landscaping and means of enclosure of all un-built, open areas have been submitted to and approved by the local planning authority in writing and shall include full details including a maintenance plan of replacement tree planting to sufficiently mitigate the loss of the trees hereby approved for removal of a size, species and location to be agreed with the council's tree and landscape officer. The relevant part of the works shall not be carried out otherwise than in accordance with the details thus approved.

Reason: To ensure that the development achieves a high quality of landscaping which contributes to the visual amenity and character of the area in accordance with the requirements of policies A2, A3, D1 and D2 of the London Borough of Camden Local Plan 2017.

- 6 All hard and soft landscaping works shall be carried out in accordance with the approved landscape details by not later than the end of the planting season following completion of the development or any phase of the development. Any trees or areas of planting (including trees existing at the outset of the development other than those indicated to be removed) which, within a period of 5 years from the completion of the development, die, are removed or become seriously damaged or diseased, shall be replaced as soon as is reasonably possible and, in any case, by not later than the end of the following planting season, with others of similar size and species, unless the local planning authority gives written consent to any variation.

Reason: To ensure that the landscaping is carried out within a reasonable period and to maintain a high quality of visual amenity in the scheme in accordance with the requirements of policies A2, A3, A5, D1 and D2 of the London Borough of Camden Local Plan 2017.

- 7 Prior to the commencement of the relevant part of the works, a Method Statement detailing how the wall, railings, kerbs and lamppost will be stored, cleaned and reinstated, shall be submitted and approved in writing by the Local Planning Authority.

The works hereby permitted are for a temporary period only and the wall, railings, lamppost and kerbs shall be fully reinstated in accordance with details to be approved upon completion of the works.

Reason: The type of works are not such as the Council is prepared to approve, other than for a limited period, due to the loss of historic fabric and the impact on character, appearance, and significance of the listed structure and conservation, contrary to the requirements of Policies D1 and D2 of the Camden Local Plan 2017, in the absence of this condition.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 Biodiversity Net Gain (BNG) Informative (1/3):
The effect of paragraph 13 of Schedule 7A to the Town and Country Planning Act 1990 ("1990 Act") is that planning permission granted in England is subject to the condition ("the biodiversity gain condition") that development may not begin unless:
(a) a Biodiversity Gain Plan has been submitted to the planning authority, and
(b) the planning authority has approved the plan.

The local planning authority (LPA) that would approve any Biodiversity Gain Plan (BGP) (if required) is London Borough of Camden.

There are statutory exemptions and transitional arrangements which mean that the biodiversity gain condition does not always apply. These are summarised below, but you should check the legislation yourself and ensure you meet the statutory requirements.

Based on the information provided, this will not require the approval of a BGP before development is begun because it is below the de minimis threshold.

3 Biodiversity Net Gain (BNG) Informative (2/3):

+ Summary of transitional arrangements and exemptions for biodiversity gain condition

The following are provided for information and may not apply to this permission:

1. The planning application was made before 12 February 2024.
2. The planning permission is retrospective.
3. The planning permission was granted under section 73 of the Town and Country Planning Act 1990 and the original (parent) planning permission was made or granted before 12 February 2024.
4. The permission is exempt because of one or more of the reasons below:
 - It is not "major development" and the application was made or granted before 2 April 2024, or planning permission is granted under section 73 and the original (parent) permission was made or granted before 2 April 2024.
 - It is below the de minimis threshold (because it does not impact an onsite priority habitat AND impacts less than 25 square metres of onsite habitat with biodiversity value greater than zero and less than 5 metres in length of onsite linear habitat).
 - The application is a Householder Application.
 - It is for development of a "Biodiversity Gain Site".
 - It is Self and Custom Build Development (for no more than 9 dwellings on a site no larger than 0.5 hectares and consists exclusively of dwellings which are Self-Build or Custom Housebuilding).
 - It forms part of, or is ancillary to, the high-speed railway transport network (High Speed 2).

4 Biodiversity Net Gain (BNG) Informative (3/3):

+ Irreplaceable habitat:

If the onsite habitat includes Irreplaceable Habitat (within the meaning of the Biodiversity Gain Requirements (Irreplaceable Habitat) Regulations 2024) there are additional requirements. In addition to information about minimising adverse impacts on the habitat, the BGP must include information on compensation for any impact on the biodiversity of the irreplaceable habitat. The LPA can only approve a BGP if satisfied that the impact on the irreplaceable habitat is minimised and appropriate arrangements have been made for compensating for any impact which do not include the use of biodiversity credits.

+ The effect of section 73(2D) of the Town & Country Planning Act 1990

If planning permission is granted under section 73, and a BGP was approved in relation to the previous planning permission ("the earlier BGP"), the earlier BGP may be regarded as approved for the purpose of discharging the biodiversity gain condition on this permission. It will be regarded as approved if the conditions attached (and so the permission granted) do not affect both the post-development value of the onsite habitat and any arrangements made to compensate irreplaceable habitat as specified in the earlier BGP.

+ Phased development

In the case of phased development, the BGP will be required to be submitted to and approved by the LPA before development can begin (the overall plan), and before each phase of development can begin (phase plans). The modifications in respect of the biodiversity gain condition in phased development are set out in Part 2 of the Biodiversity Gain (Town and Country Planning) (Modifications and Amendments) (England) Regulations 2024.

- 5 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 6 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at www.camden.gov.uk) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with the National Planning Policy Framework. The council publishes its adopted policies online, along with detailed Camden Planning Guidance. It also provides advice on the website for submitting applications and offers a pre-application advice service.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-planning-decision>.

Yours faithfully

Chief Planning Officer

Application ref: 2025/0116/L
Contact: Edward Hodgson
Tel: 020 7974 8186
Email: Edward.Hodgson@camden.gov.uk
Date: 11 June 2025

Development Management
Regeneration and Planning
London Borough of Camden
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Judd Street
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Phone: 020 7974 4444
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www.camden.gov.uk

Hurst Peirce and Malcolm
Celtic House, Johns Mews, Holborn
London
WC1N 2QL

DRAFT

Dear Sir/Madam

DECISION

Planning (Listed Building and Conservation Areas) Act 1990

Listed Building Consent Granted

Address:
Chester Terrace Gardens
Chester Terrace
London
NW1 4ND

DECISION

Proposal:

Temporary deconstruction and like-for-like reconstruction of 2 bays of the Outer Circle dwarf wall and associated works to facilitate the replacement of the garden retaining wall

Drawing Nos: Please refer to conditions below

The Council has considered your application and decided to grant subject to the following condition(s):

Conditions And Reasons:

- 1 The works hereby permitted shall be begun not later than the end of three years from the date of this consent.

Reason: In order to comply with the provisions of Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans:

Site Location Plan, 24509-5000 P2, 24509-5001 P2, 24509-5002 P2, 24509-5003 P2, Design and Access Statement (Rev O2), BNG memo, Arboricultural Impact Assessment, Heritage and Design Statement

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the Camden Local Plan 2017.

- 3 All new work and work of making good shall be carried out to match the existing adjacent work as closely as possible in materials and detailed execution.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the Camden Local Plan 2017.

Informative(s):

- 1 You are advised that any works of alterations or upgrading not included on the approved drawings which are required to satisfy Building Regulations or Fire Certification may require a further application for listed building consent.
- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
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Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with the National Planning Policy Framework. The council publishes its adopted policies online, along with detailed Camden Planning Guidance. It also provides advice on the website for submitting applications and offers a pre-application advice service.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Chief Planning Officer

DRAFT

DECISION